



SITE PLAN REVIEW (SPR) APPLICATION

Ogden City Customer Service Center
2549 Washington Blvd. Suite 240
Ogden, UT 84401
Phone: 801-629-8930

Project:

Project Name: _____ Project Land Use: _____
Parcel ID Number: ____ - ____ - _____ Project Address: _____
(Multiple ID #'s): ____ - ____ - _____, ____ - ____ - _____ (will be verified and assigned by Engineering Dept.)

Contact Information:

Contact Name: _____ Phone: (____) _____ Fax: (____) _____
Address: _____ Zip: _____ E-mail: _____
(The contact name is the person who will be contacted under law)

Owner Name: _____ Address: _____ City: _____ State: _____
Zip: _____ Phone: (____) _____ E-mail: _____

Architect/Engineer Name: _____ Phone: (____) _____ Fax: (____) _____
E-mail: _____

The following checklist will assist you in obtaining Site Plan approval:**Checklist:**

- Seven (7) 24" x 36" Site Plan sets (**showing items 1-24 on back of page**) + 1 (one) 8.5" x 11" site and landscape plan
- Two (2) Landscape Plans is required, if not shown on Site Plan.
- Seven (7) legible copies of current County Plats (no fax copy)
- One (1) of the Storm Water Pollution Prevention Plan (SWPPP)
- Three (3) Grading and Drainage Plans, if not shown on Site Plan
- One (1) Storm Water Calculations
- Four (4) Utility Plans, if not depicted on Site Plan
- Three (3) Building Elevation Drawings depicting architectural theme, building features and materials, colors is required
- Check all that apply, proposed work is: _____ New Construction _____ New Addition _____ New Remodel
_____ Site Expansion _____ New Use
- Fees: - Initial: \$100 – Each resubmittal past the second review due to inaccurate drawings: \$150 for residential projects, \$175 for commercial/industrial projects**

The following items must be completed prior to issuance of Building Permits:**Landscaping/Improvement Escrows:**

Prior to a Building Permit(s) being issued, the developer is required to establish a Financial Guarantee Contract with Ogden City for required landscaping and site improvements. The Financial Guarantee Contract is drafted by Ogden City and options are:

- Cash Escrow
- Irrevocable Letter of Credit Escrow
- 3rd Party Escrow
- Bond Escrow

Signage:

Before installing a sign you need to check with the Planning Department and Building Services for regulations. A separate permit is required for signage. A painted wall sign requires a Conditional Use Permit (see Planning Department for additional Information).

Construction Plan Review:

Building Plans may be submitted to Building Services for a Construction Plan Review (CPR) **only by approval of the Site Plan Project Coordinator.**

I have read the application and herby certify that the information is correct and I understand that the Site Plan Review is valid for one (1) year from the application submittal date.

Signature of owner or applicant

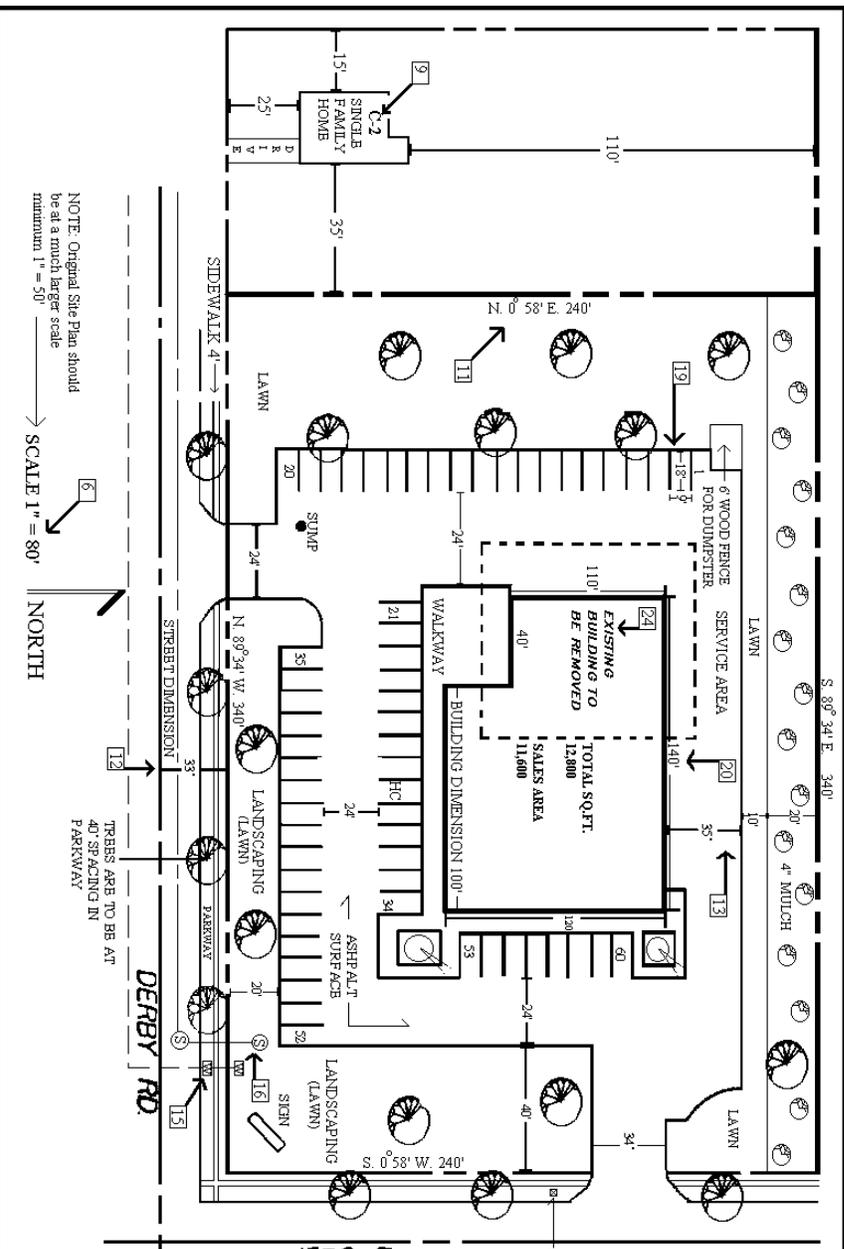
Application received by

Staff use only:

Date: _____ Zone: _____
Application #: _____
Project Coordinator: _____
Phone: _____

CHECK LIST FOR SITE PLAN REVIEW (1-24)

- 1 Name of the proposed development.
- 2 Name & address of owner of property.
- 3 Name and address of the preparer of the site plan.
- 4 A statement describing the intended use of the development.
- 5 A vicinity map oriented in the same direction as site plan.
- 6 A north arrow & scale (not less than 1:50).
- 7 The tax ID number of the development site.
- 8 The land use & zoning of the development site.
- 9 Adjacent land use & zoning.
- 10 Identify the percentage of property covered by buildings and hard surface.
- 11 A valid & accurate legal description of the property. Property lines shall be shown with bearings & dimensions.
- 12 Adjacent streets shall be shown and identified, along with distance from centerline to property.
- 13 Building setbacks and distances.
- 14 Easements on property & on abutting property that could be affected by the development shall be shown including plat book & page.
- 15 Off-site water service shall be shown, along with proposed service lateral & meter location.
- 16 Off-site sewer service shall be shown, along with proposed service lateral & cleanout locations.
- 17 Grease trap locations, sizes & construction information.
- 18 Fire hydrant location & distance from hydrant to bldg.
- 19 Parking Info.: a.) parking calculations indicating the # of required regular & H.C. spaces. b.) dimensions of parking angles c.) vehicle stacking for drive-through uses.
- 20 The geometric layout & dimensions of proposed buildings, driveways, parking areas, loading areas, signs, structures & other physical features of the development.
- 21 A landscape plan is required.
- 22 A grading & drainage plan is required.
- 23 Elevation drawings depicting architectural theme, building features, materials & colors is required.
- 24 Existing structures which will be removed from the site.



NOTE: Original Site Plan should be at a much larger scale minimum 1" = 50'

SCALE 1" = 80'

SITE PLAN REQUIREMENTS

	sq. ft.	%
Total Parcel Area	81,600	
Building Coverage	12,800	15.7
Asphalt Coverage	54,928	67.3
Landscaping	13,872	17.0

Existing Zoning C-2

Parking Stalls Required 58

Parking Stalls Shown 60

Landscaping Type

- EMERALD
- ARBORVITAE
- REDMOND
- LINDEN
- SPRING
- SNOW CRAB

Existing Elevations (by contours or points)

Proposed Elevations

Land Use Clothing Store

NAME OF TENANT
Applicant: B.B. BAGGINS
Address: 405 Acadia Ave. Ogden (NEW BUILDING)
Engineer: P.C. CONSTI
Address: 12 Penn Ave. Ogden
Architect: D.BAILEY & ASSOC.
Address: 313 Bass Dr. Ogden

TAX ID # 06-999-9999
SALLY'S BOUTIQUE
Phone: 393-3003

Phone: 399-9001
Phone: 621-4111

SAMPLE SITE PLAN