



# Accessory Dwelling Unit (ADU) Permit Application

Ogden City Development Services  
2549 Washington Blvd. Suite 240  
Ogden, Utah 84401  
(801) 629-8930

Please print legibly and complete all areas:

### Location of proposed Accessory Dwelling Unit (ADU)

Parcel ID:   -    -

Owner's Name:

Address:

E-mail:

Phone:

Architect/Engineer:

Phone:

E-mail:

### Accessory Dwelling Unit (ADU) Requirements

1. The property owner must live in the main dwelling and is then eligible to rent out the ADU to no more than two adults with or without minor children.
2. The ADU shall not occupy more than 40% of the building's total square feet **or**, for detached units, shall not be less than 300 square feet or more than 800 square feet. Detached units shall not occupy more than 25% of the rear yard area.
3. The dwelling must retain its single-family appearance and cannot be altered except to meet current building code.
4. If possible, existing building entrances shall remain unchanged. If a new entrance is necessary to access the ADU, it shall be installed on either the side or to the rear of the existing building.
5. Entry doors and egress windows from sleeping rooms are required to meet current building code.
6. The dwelling shall have the required two off-street parking spaces that meet all the requirements for off-street parking. No additional parking in the front or side yard is permitted.

Do you plan to build a new unit or remodel your existing building to create a new unit?    YES    NO    (circle one)  
*(If you answered YES, construction plans are required)*

### Items needed to apply for ADU site approval:

- Three site plans drawn to scale. (see back of this form)
- Three labeled floor plans drawn to scale.
- Three copies of elevation drawings showing all sides of the building, with dimensions.
- Proof of property ownership: One copy of current Weber County ownership plat.  
(Available at Weber County, 2380 Washington Blvd. **or** on their website: [www.co.weber.ut.us/psearch/](http://www.co.weber.ut.us/psearch/))
- Proof of owner's residency in main unit: Driver's license, current utility bill, etc.

Noncompliance with the standards of the ADU ordinance 15-32 shall be just cause for the denial of this application or the revocation of an accessory dwelling permit if the conditions are not maintained that allowed the accessory dwelling unit.

I have read the application and hereby certify that the information contained herein is correct. I understand that once the ADU is approved, I am required to renew the ADU permit annually.

Owner's signature

(date)

Application accepted by: \_\_\_\_\_

### Rental Business Licensing:

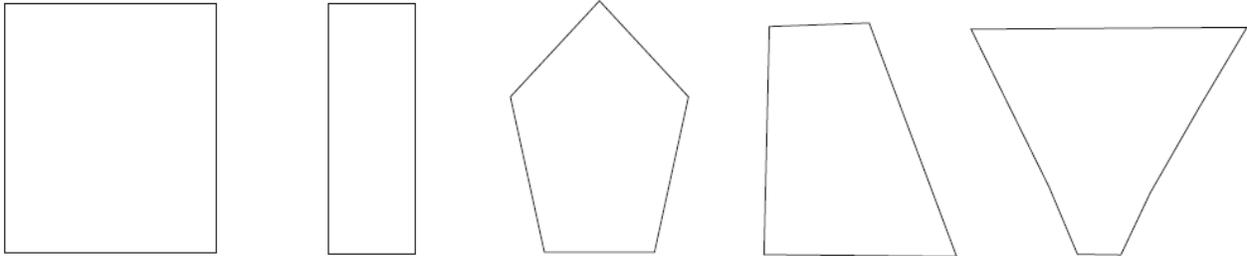
Once the application has been approved, a *rental* business license must be obtained. Contact the Business Licensing Department (801-629-8965) regarding application and fees for an "owner-occupied duplex" under Title V, chapter 1B.

### Yearly renewal of ADU approval:

The approval of an Accessory Dwelling Unit (ADU) is valid for one year from the approval date and **must be renewed annually**. Change of property ownership voids the ADU approval. New owner must apply for his own ADU permit.

## How to draw a simple site plan in 5 easy steps:

### Step 1: Draw the basic shape of your property (the lot your house is on):



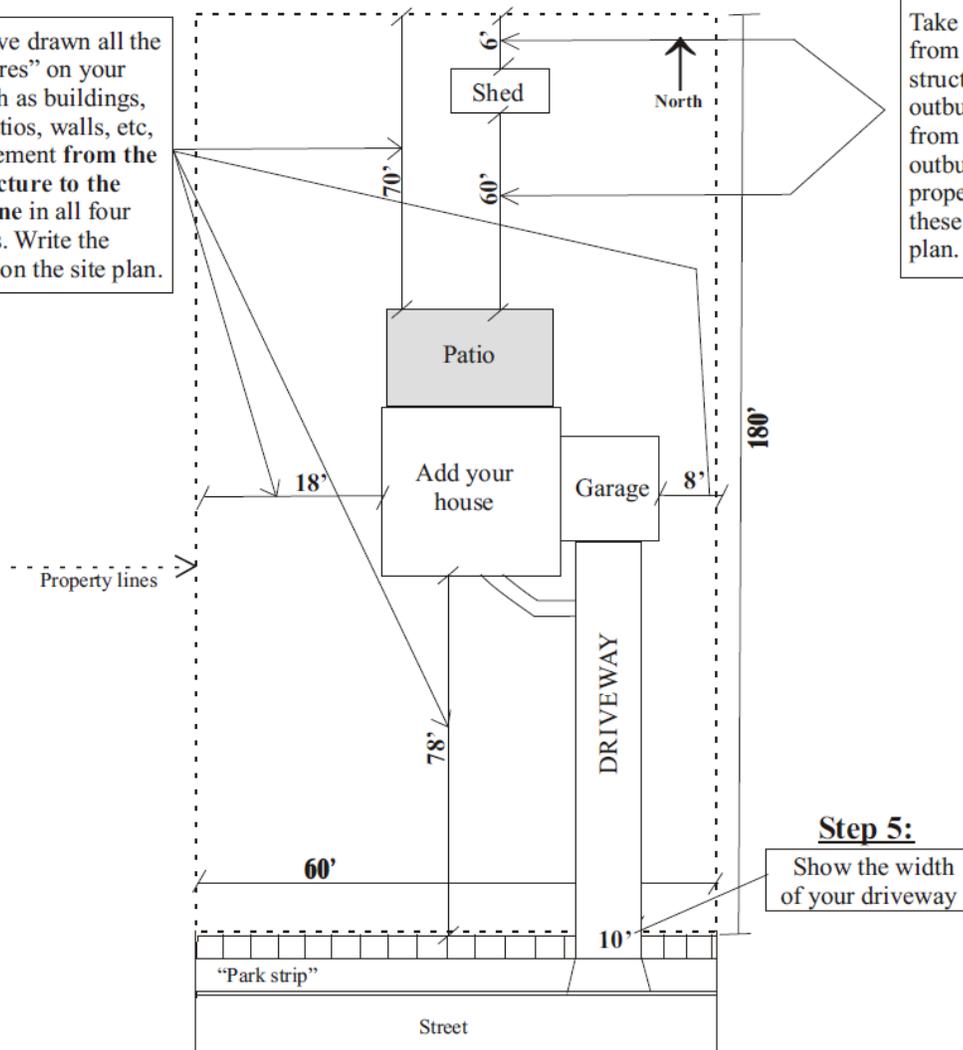
### Step 2: Draw all the permanent structures.....

### Step 3:

After you have drawn all the "hard features" on your property, such as buildings, driveways, patios, walls, etc, take a measurement from the main structure to the property line in all four directions. Write the measurements on the site plan.

### Step 4:

Take measurements from the main structure to any outbuildings, and from those outbuildings to the property line. Write these on the site plan.



### Step 5:

Show the width of your driveway

**Note\*** This is a sample of an imaginary property. You cannot use it for *your* property. Use it only as a *guide* to draw your own. Your drawing does not need to be done on a computer...it can be drawn with pencil and paper.