



Site Plan Review (SPR) Application

Ogden City Development Services
2549 Washington Blvd. Suite 240
Ogden, Utah
(801) 629-8930

Please print legibly and complete all areas:

Project Name:

Proposed Land Use:

Parcel ID(s):

Project Address:

Project Contact:

Phone:

Address:

City:

State:

Zip:

E-mail address:

Property Owner's Name:

Address:

City:

State:

Zip:

Architect/Engineer Name:

Phone:

Email address:

Submittal Checklist

- Six (6) 24"x36" Site Plan sets (showing items 1-24 on back of page)
- Two (2) Landscape Plans, if not shown on Site Plan.
- Six (6) legible copies of current County Plats (available at <http://www3.co.weber.ut.us/psearch/> or at 2380 Washington Blvd.)
- One Storm Water Pollution Prevention Plan (SWPPP) and NOI, if applicable + one PDF copy for final
- Three (3) Grading and Drainage Plans, if not shown on Site Plan
- One set of Storm Water Calculations
- Four (4) Utility Plans, if not depicted on Site Plan
- Three (3) Building Elevation drawings depicting architectural theme, building features and materials, and colors are required
- Electronic copy (PDF, CAD, etc) of all the items above

Proposed work is: *Check all that apply* New Construction New Addition New Remodel Site expansion New Use

FEES: \$250 for new development, major addition or Planning Commission Review

\$100 Minor additions or remodels of a duplex or single-family dwelling

\$800 Mixed-use zone

Each resubmittal past the second review due to inaccurate drawings~ **Commercial \$175 Residential \$150**

TOTAL Fees due: _____

Landscaping/Improvement Escrows:

Prior to a Building Permit being issued, the developer is required to establish a Financial Guarantee Contract with Ogden City for required landscaping and site improvements. The financial Guarantee Contract is drafted by Ogden City and options are:

- ⇒ Cash Escrow
- ⇒ Irrevocable Letter of Credit Escrow
- ⇒ Third Party Bank Escrow

Signage: Before installing a sign, you need to check with the Planning Department and Building Services for regulations. A separate permit is required for signage. A painted wall sign requires a Conditional Use Permit (see Planning Department for additional information.)

Construction Plan Review: Building plans may be submitted to Building Services for a Construction Plan Review (CPR) **only by approval of the site Plan Project Coordinator.**

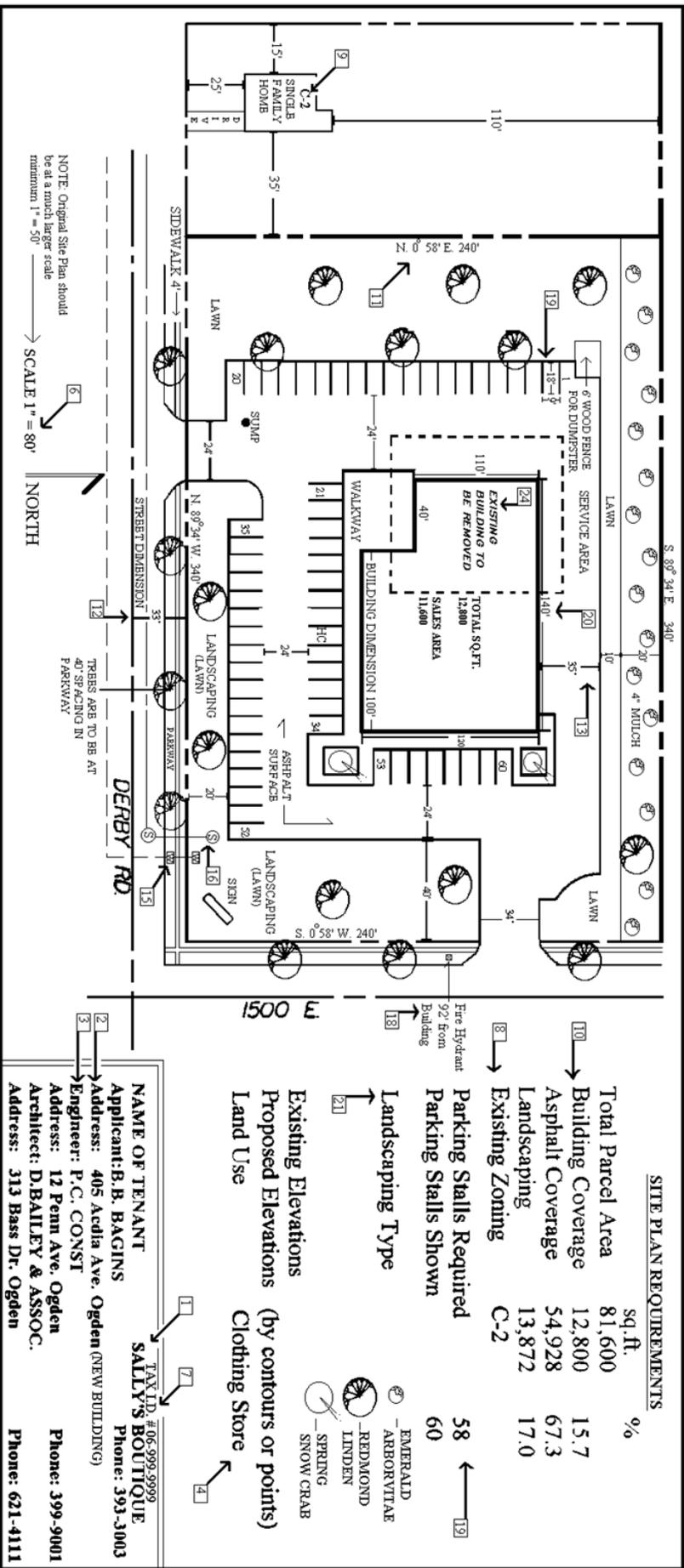
I have read the application and hereby certify that the information is correct and I understand that the Site Plan Review is valid for **one year from the application submittal date.**

Signature _____

date _____

CHECK LIST FOR SITE PLAN REVIEW (1-24)

- 1 Name of the proposed development.
- 2 Name & address of owner of property.
- 3 Name and address of the preparer of the site plan.
- 4 A statement describing the intended use of the development.
- 5 A vicinity map oriented in the same direction as site plan.
- 6 A north arrow & scale (not less than 1:50).
- 7 The tax ID number of the development site.
- 8 The land use & zoning of the development site.
- 9 Adjacent land use & zoning.
- 10 Identify the percentage of property covered by buildings and hard surface.
- 11 A valid & accurate legal description of the property. Property lines shall be shown with bearings & dimensions.
- 12 Adjacent streets shall be shown and identified, along with distance from centerline to property.
- 13 Building setbacks and distances.
- 14 Easements on property & on abutting property that could be affected by the development shall be shown including plat book & page.
- 15 Off-site water service shall be shown, along with proposed service lateral & meter location.
- 16 Off-site sewer service shall be shown, along with proposed service lateral & cleanout locations.
- 17 Grease trap locations, sizes & construction information.
- 18 Fire hydrant location & distance from hydrant to bldg.
- 19 Parking Info.: a.) parking calculations indicating the # of required regular & H.C. spaces. b.) dimensions of parking angles. c.) vehicle stacking for drive-through uses.
- 20 The geometric layout & dimensions of proposed buildings, driveways, parking areas, loading areas, signs, structures & other physical features of the development.
- 21 A landscape plan is required.
- 22 A grading & drainage plan is required.
- 23 Elevation drawings depicting architectural theme, building features, materials & colors is required.
- 24 Existing structures which will be removed from the site.



SITE PLAN REQUIREMENTS

	sq. ft.	%
Total Parcel Area	81,600	
Building Coverage	12,800	15.7
Asphalt Coverage	54,928	67.3
Landscaping	13,872	17.0
Existing Zoning	C-2	
Parking Stalls Required		58
Parking Stalls Shown		60
Landscaping Type		
Existing Elevations		
Proposed Elevations (by contours or points)		
Land Use		
Clothing Store		

- EMERALD
- ARBORVITAE
- REDMOND
- LINDEN
- SPRING
- SNOW CRAB

NAME OF TENANT
 Applicant: B. B. BAGINS
 Address: 405 Acadia Ave. Ogdén (NEW BUILDING)
 Engineer: P. C. CONST
 Address: 12 Penn Ave. Ogdén
 Architect: D. BAILEY & ASSOC.
 Address: 313 Bass Dr. Ogdén

TAX ID #06-999-9999
SALLY'S BOUTIQUE
 Phone: 393-3003

Phone: 399-9001
 Phone: 621-4111

SAMPLE SITE PLAN

NOTE: Original Site Plan should be at a much larger scale minimum 1" = 50'

SCALE 1" = 80'